



City of Bellevue, Development Services Department  
P.O. Box 90012, Bellevue, WA 98009-9012  
(425) 452-6800 Fax (425) 452-5225

**SHORELINE MANAGEMENT ACT OF 1971  
PERMIT FOR SHORELINE SUBSTANTIAL DEVELOPMENT PERMIT**

<b>CITY FILE NO. 15-106602-WG</b>	<b>DATE OF APPLICATION: 3/2/2015</b>
<b>DECISION: Approved</b> <b>DATE OF DECISION: 6/4/2015</b> <b>APPEAL DEADLINE: 6/25/2015</b>	
Pursuant to Chapter 90.58 RCW, this permit is hereby granted to <b>Chris Ackerman, JPC Architects</b> to undertake the following development: <b>Replacement of an existing wood canopy over a building entry with a new steel and glass canopy, walkway, and handrails</b> upon the property located at <b>1450 114<sup>th</sup> Avenue SE</b>	
The project is located in or within 200 feet of <b>Lake Washington</b> , a "Shoreline of Statewide Significance" (RCW 90.58.030), and/or its associated wetlands. These areas are within the Shoreline Overlay District of the City of Bellevue, Land Use Code 20.25E. This proposal conforms to the applicable shoreline master program provisions found in the attached staff report.	
Development pursuant to this permit shall be undertaken in accordance with the following terms and conditions: <b>The area of the removed path and any temporary disturbance is required to be restored with vegetation per the planting established for zones 1 and/or 6 as found in the Bellefield Vegetation Management Plan established under permit 13-112477-LO. The planting is required to be shown on the plans for the associated building permit 15-111460-BW.</b>	

This permit is granted pursuant to the Shoreline Management Act of 1971 and nothing in this permit shall excuse the applicant from compliance with any other federal, state or local statutes, ordinances or regulations applicable to this project, but not inconsistent with the Shoreline Management Act (Chapter 90.58 RCW).

This permit may be rescinded pursuant to RCW 90.58.140(8) in the event the permittee fails to comply with the terms and conditions hereof. Construction pursuant to this permit, or substantial progress toward construction, must be undertaken within two years of the date of final approval. This permit shall expire five years from the date of local approval.

Construction pursuant to this permit will not begin or is not authorized until twenty-one (21) days from the "date of filing," as defined in RCW 90.58.140(6) and WAC 173-27-130, or until all review proceedings initiated within twenty-one (21) days from the date of such filing have terminated; except as provided in RCW 90.58.140(5) (A) (B) (C) (D). Appeal of the Shoreline Substantial Development Permit must be made to the Washington State Shoreline Hearings Board by the appeal deadline stated above.

6/4/2015

Date

  
City of Bellevue, Land Use Division

CC: Attorney General, Department of Ecology, Northwest Region  
Dept. of Fish and Wildlife, 1775 12th Ave. NW Suite 201 Issaquah, WA 98027  
DOE, Joe Burcar, 3190 160<sup>th</sup> Avenue SE, Bellevue, WA 98008-5452

Planting within Zone 1 shall abide by the following standards:

- Wetland mapping in Appendix B shall be consulted prior to plant selection.
- Puget Sound lowland native plants are recommended.
- Ornamental plants are allowed, when the following criteria are met:
  - Plants must be non-invasive. Plants on the King County Noxious Weed list, in any class, are not allowed.
  - Plants must be non-aggressive and non-spreading, such that they will not spread out of their designated planting areas.
  - In general, large trees and shrubs should not be used near buildings, or in any area where they would grow to a size that would need future thinning or removal.
- Ornamental plants should reflect the overall character of the Bellefield site.

Based upon the above standards, the following recommended plant list for Zone 1 has been developed. However, the list is not inclusive of all the potential plants that can be used in Zone 1. Provided the above standards are met, additional plantings can also be utilized.

**Zone 1. Recommend Plant List (all Zone 6 species are also recommended)**

	<b>Trees</b>	<b>Shrubs</b>	<b>Groundcover</b>
<b>Drier</b>	<i>Arbutus menzeisii</i> / Pacific Madrone <i>Malus fusca</i> / Western Crabapple <i>Psuedotsuga menzeisii</i> / Douglas-fir	<i>Holodiscus discolor</i> / Oceanspray <i>Hydrangea quercifolia</i> / Oakleaf Hydrangea <i>Mahonia</i> × <i>media</i> 'Charity' Hybrid Mahonia <i>Philadelphus</i> spp. / Mock Orange <i>Ribes</i> spp. / Gooseberries and Currants	<i>Arctostaphylos uva-ursi</i> / Kinnikinnick <i>Aruncus sylvestris</i> / Goatsbeard <i>Epimedium</i> spp. / Bishop's Hat <i>Gaultheria shallon</i> / Salal <i>Mahonia aquifolium</i> / Tall Oregon Grape
<b>Moist</b>	<i>Crataegus douglasii</i> / Black Hawthorn <i>Populus tremula</i> 'Erecta' / Swedish Columnar Aspen	<i>Callicarpa bodinieri</i> var. <i>giraldii</i> 'Profusion' / Beautyberry <i>Sambucus nigra</i> 'Eva' Black Lace / Purple Cutleaf Elderberry <i>Spiraea</i> spp. / Spirea <i>Vaccinium ovatum</i> / Evergreen Huckleberry <i>Viburnum nudum</i> 'Brandywine' / Brandywine Viburnum <i>Viburnum edule</i> / Squashberry Shrub roses <i>Symphoricarpos albus</i> / Snowberry	<i>Ajuga</i> spp. / Bugle <i>Heuchera</i> spp. / Coral bells <i>Miscanthus</i> spp. / Fountaingrass <i>Oxalis</i> spp. / Sorrel Ornamental grasses <i>Polystichum munitum</i> / Sword fern <i>Blechnum spicant</i> / Deer Fern
<b>Wetter</b>	<i>Betula papyrifera</i> / Paper Birch <i>Betula utilis</i> var. <i>jacquemontii</i> / Whitebarked Himalayan birch <i>Pinus contorta</i> / Shore Pine <i>Picea sitchensis</i> / Sitka Spruce* <i>Fraxinus latifolia</i> / Oregon Ash* *Do not plant near buildings or infrastructure.	<i>Cornus sanguinea</i> 'Midwinter Fire' / Bloodtwig Dogwood <i>Cornus sericea</i> 'Flaviramea' / Yellow Dogwood <i>Physocarpus</i> spp. 'Center glow,' 'Coppertina,' 'Diablo,' etc. / Ornamental Ninebarks	<i>Juncus</i> spp. / Rush Grasses <i>Carex</i> spp. / Sedges** <i>Scirpus microcarpus</i> / Small-flowered Bulrush** <i>Scirpus validus</i> / Soft-stem Bulrush** <i>Athyrium filix-femina</i> / Lady fern** **For areas of seasonal ponding

**Zone 6 – Mercer Slough Fringe – Listed species are acceptable in all zones.**

	<b>Trees</b>	<b>Shrubs</b>	<b>Groundcover</b>
<b>Drier</b>	<i>Acer macrophyllum</i> / Bigleaf maple <i>Psuedotsuga menzeisii</i> / Douglas-fir <i>Pyrus fusca</i> / Pacific Crabapple	<i>Corylus cornuta</i> / Hazelnut <i>Oemleria cerasiformis</i> / Indian Plum	<i>Aruncus sylvestris</i> / Goatsbeard
<b>Moist</b>	<i>Betula papyrifera</i> / Paper Birch <i>Thuja plicata</i> / Western Red Cedar	<i>Acer circinatum</i> / Vine Maple <i>Ribes divaricatum</i> / Coast Black Gooseberry <i>Ribes lacustre</i> / Prickly Currant <i>Ribes sanguineum</i> / Red Flowering Currant <i>Rosa nutkana</i> / Nootka Rose <i>Rubus spectabilis</i> / Salmonberry <i>Sambucus racemosa</i> / Red Elderberry	<i>Achillea millefolium</i> / Western Yarrow <i>Athyrium filix-femina</i> / Lady Fern <i>Dryopteris austriaca</i> / Spreading Wood Fern <i>Gaultheria shallon</i> / Salal <i>Polystichum munitum</i> / Sword Fern <i>Pteridium aquilinum</i> / Bracken Fern
<b>Wetter</b>	<i>Fraxinus latifolia</i> / Oregon Ash <i>Pinus contorta</i> / Shore Pine <i>Salix lucida</i> / Pacific Willow <i>Salix scouleriana</i> / Scouler Willow <i>Salix sitchensis</i> / Sitka Willow <i>Picea sitchensis</i> / Sitka Spruce	<i>Cornus sericea</i> / Red-osier Dogwood <i>Lonicera involucrata</i> / Twinberry <i>Physocarpus capitata</i> / Ninebark	<i>Carex canescens</i> / Silvery sedge <i>Carex deweyana</i> / Dewey's sedge <i>Carex obnupta</i> / Slough sedge <i>Carex pachystachya</i> / Pachystachy sedge <i>Carex stipata</i> / Sawbeak sedge



# Conifer Bldg. Upgrades

## Building "I" Entry Upgrades



### Sheet Index

Sheet Number	Sheet Title
A-0.0	Cover Sheet & Site Plan
A-0.1	General Notes & Symbols
A-1.1	Overall Site Plan
A-1.2	Demo & New Site Plan
A-8.2	Exterior Sections and Elevations

### Scope of Work:

THE SCOPE OF WORK INCLUDES, BUT NOT LIMITED TO THE FOLLOWING AND SHALL BE ALL INCLUSIVE OF ALL DRAWINGS INCLUDED IN THE SET:  
DEMOLISH EXISTING FRONT ENTRY DOORS, METAL RAILINGS, AND CANOPY ROOF STRUCTURE. PROVIDE NEW STEEL FRAME AND GLASS CANOPY, METAL CABLE RAIL GUARD AND HAND RAILINGS TO ENTRY.

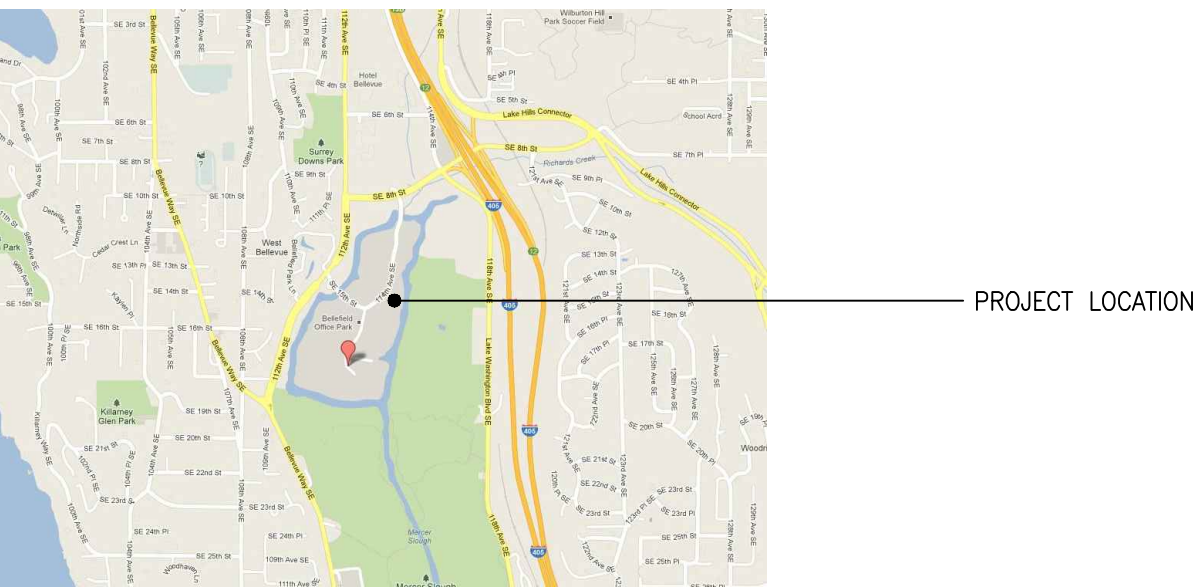
### Code Information:

PROJECT ADDRESS: CONIFER BUILDING 1450 114TH AVENUE SE BELLEVUE, WASHINGTON 98004	APPLICABLE EDITIONS OF BUILDING CODES: BUILDING CODE 2012 INTERNATIONAL BLDG CODE (IBC), WAC 51-50 FIRE CODE 2012 INTERNATIONAL FIRE CODE (IFC), INCL. APPENDIX B&C ENERGY CODE 2012 WASHINGTON STATE ENERGY CODE (WSEC), WAC 51-11 MECHANICAL CODE 2012 INTERNATIONAL MECHANICAL CODE (IMC), WAC 51-52 ELECTRICAL CODE 2008 NATIONAL ELECTRICAL CODE (NEC) (NFPA 70) + PART 1 AND PART 3, 2009 WASHINGTON CITIES ELECTRICAL CODE WITH APPLICABLE RW 19.28 & WAC 296-46B PLUMBING CODE 2012 UNIFORM PLUMBING CODE (UPC), WAC 51-56 & 51-57 INCL. APPENDIX CHAPTERS H & L - EXCL. SECTIONS L5-L7 & "LAWN SPRINKLER HEAD" FROM TABLE 6-4 OF APPENDIX L ZONING CODE CITY OF BELLEVUE ACCESSIBILITY CODE 2009 ICC A117.1
CONSTRUCTION TYPE: CONST-TYPE: V-B SPKR-TYPE: NON-SPRINKLERED	
ZONE: 0	
OCCUPANCY: B	
TENANT SQUARE FOOTAGE: (area of work) N/A	

### Legal Description:

TAX PARCEL #: 066288-0020  
BELLEFIELD OFFICE PARK - BSP TGV UND INT IN TRACT A THRU J  
NE 1/4 AND THE SE 1/4 SEC. 5, TWP. 24N., RGE. 5E., W.M. CITY OF BELLEVUE, KING COUNTY, WASHINGTON

### Vicinity Map:



### Project Team:

#### Property Owner:

TALON PRIVATE CAPITAL  
720 OLIVE WAY  
SUITE #1020  
SEATTLE, WASHINGTON 98101  
(206) 607-2550

CHARLIE FOUSHEE  
foushee@talonprivate.com

#### Architect:

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909 112TH AVENUE NE  
SUITE #206  
BELLEVUE, WASHINGTON 98004  
(425) 641-9200

CHRIS ACKERMAN - EXT. 303  
chrise@jpcarchitects.com

#### Property Manager:

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11400 SE 8TH STREET  
SUITE 400  
BELLEVUE, WASHINGTON 98004  
(425) 453-5737

EJ MALONEY  
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SHAWN SAFARI  
ssafari@pinnaclefamily.com

#### General Contractor:

JTM CONSTRUCTION  
800 MAYNARD AVENUE SOUTH  
SUITE #101  
SEATTLE, WASHINGTON 98134  
(206) 587-4000  
STATE.: #600176606 CITY.:#66909  
CORY ANDERSON  
canderson@jtm-construction.com  
DEREK DEETER  
ddeeter@jtm-construction.com

#### Structural Engineer:

DCI ENGINEERS  
818 STEWART STREET,  
SUITE #1000  
SEATTLE, WA 98101  
(206) 332-1900

JOSEPH GLASER  
jglaser@dc-engineers.com

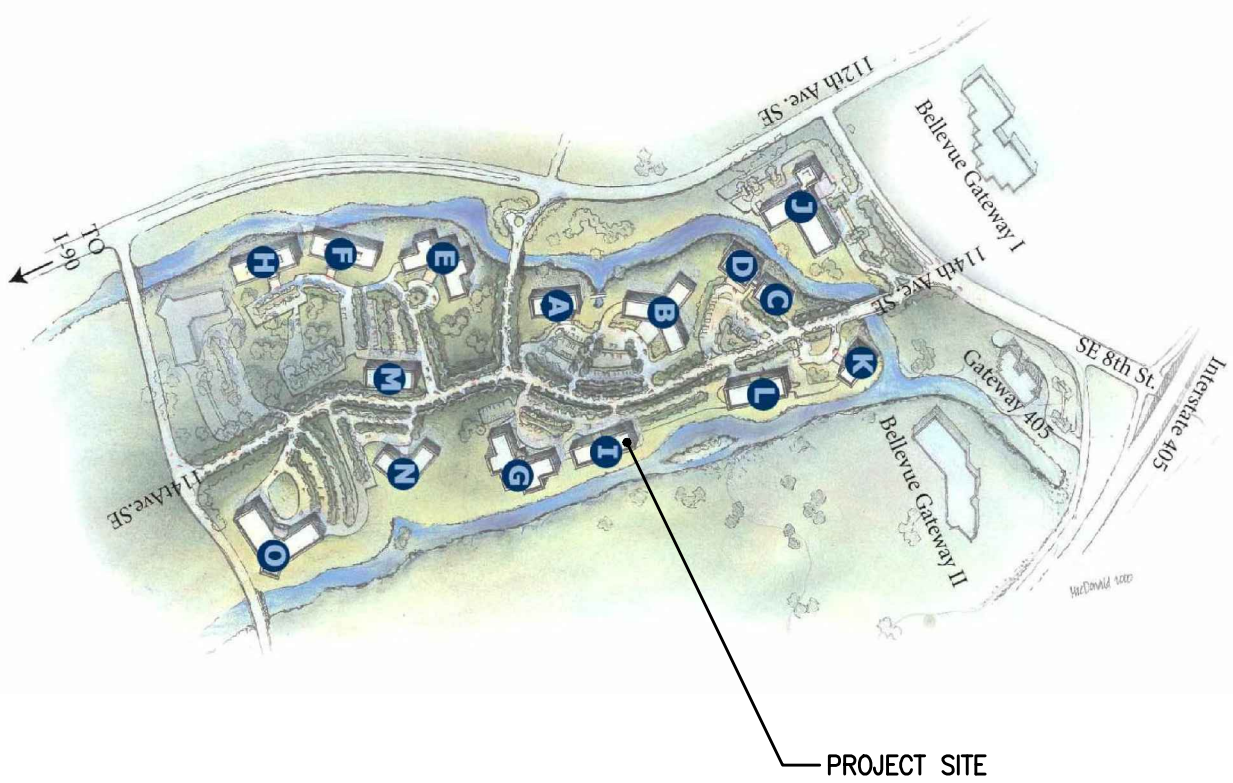
#### Landscape Design:

INTEGRATED SITE DESIGN  
12743 26TH AVE. NE  
SEATTLE, WASHINGTON 98125  
(206) 363-9049

RAY ROBINSON  
r.robinson@i-s-d.com

### Bellevue Office Park Key Site Plan

Scale: N.T.S.





1"=1'-0"

PROJECT SPECIFICATIONS:

NAME	PRODUCT
STONE VENEER	MUTUAL MATERIALS: 'CRAFTSMAN' STACKED NATURAL LEDGESTONE VENEER. ROXPRO CRAFTSMAN STANDARD PANEL COLOR: PLACER GOLD RP-14F
CANOPY GLASS	1/2" LAMINATED GLASS - 1/4" CLEAR TEMPERED GLASS, 0.060 RAIN EDGE INTERLAYER AND 1/4" TEMPERED SATIN ETCH FRIT #4
PAINT	STEEL: SHERWIN WILLIAMS EXTERIOR ACRYLIC POLYURETHANE ROLL APPLIED MATTE FINISH, COLOR: BLACK CONCRETE: SHERWIN WILLIAMS EXTERIOR TO MEET APPLICATION. COLOR: TBD

Abbreviations:

A/C	AIR CONDITIONING
ACT	ACUSTICAL CEILING TILE
AF	ABOVE FINISH FLOOR
ALT.	ALTERNATE
APPROX.	APPROXIMATE
BD	BOARD
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BOT	BOTTOM
B/S	BUILDING STANDARD
BU	BUILT UP
CAB	CABINET
CLG	CEILING
CLR	CLEARANCE
COL	COLUMN
CONC	CONCRETE
CONS	CONSTRUCTION
CONT	CONTINUOUS
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
DEMO	DEMOLITION
DTL	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DM	DIMENSION
DN	DOWN
DR	DOOR
DWG	DRAWING
DRW	DRAWER
E	EAST
EA	EACH
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE
EXIST	EXISTING
EXP	EXPANSION
FEC	FIRE EXTINGUISHER CABINET
FF	FACTORY FINISH
FH	FULL HEIGHT
FIN	FINISH(ED)
FLR	FLOOR
FLUOR	FLUORESCENT
FOIC	FURNISH BY OWNER
FOS	INSTALL BY CONTRACTOR
FOC	FACE OF STUD(S)
FOF	FACE OF CONCRETE
FT	FOOT/FEET
FUR	FURRED/FURRING
GA	GAUGE
GC	GENERAL CONTRACTOR
GL	GLASS/GLAZING
GWB	GYPNUM WALL BOARD
HC	HOLLOW CORE
HCPD	HANDICAPPED
HDR	HEADER
HDWR	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING VENTILATING AIR CONDITIONING
INSUL	INSULATION
JAN	JANITOR
JT	JOINT
KIT	KITCHEN
LAM	LAMINATE(D)
LAV	LAVATORY
LH	LEFT HAND
MAX	MAXIMUM
MECH	MECHANICAL
MTL	METAL
MEZ	MEZZANINE
MFR	MANUFACTURE(R)
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MUL	MULLION
N	NORTH
NC	NOT IN CONTRACT
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPNG	OPENING
P-LAM	PLASTIC LAMINATE
PNL	PANEL
PR	PAIR
PTN	PARTITION
RAD	RADIUS
RB	RESILIENT BASE
RT	RESILIENT TILE
REF	REFERENCE
REFR	REFRIGERATOR
REINF	REINFORCING
REQ	REQUIRED
REV	REVISION
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SC	SOLID CORE
SEAL	SEALANT
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPENDED
TEL	TELEPHONE
TEMP	TEMPERED
TFI	TENANT FURNISHED
	& TENANT INSTALLED
THK	THICK(NESS)
THRESH	THRESHOLD
TV	TELEVISION
TYP	TYPICAL
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VEN	VENEER
VERT	VERTICAL
VESTI	VESTIBULE
VFY	VERIFY
VWC	VINYL WALL COVERING
W	WEST/WIDE
W/	WITH
WO	WOOD
W/O	WITHOUT
WT	WEIGHT

General Notes:

- REFER TO BASIC BUILDING SPECIFICATIONS, REQUIREMENTS AND STANDARDS FOR EXISTING SHELL AND CORE CONSTRUCTION. ALL WORK IS TO BE COMPATIBLE WITH EXISTING CONSTRUCTION.
- ALL WORK SHALL CONFORM TO APPLICABLE CURRENT FEDERAL, STATE AND LOCAL CODES. THE CONTRACTOR IS TO PROVIDE FOR ALL REQUIRED NOTIFICATION OF AND COORDINATION WITH CITY AND STATE AGENCIES, AND PROVIDE REQUIRED PERMITS. ALL TESTS AND INSPECTIONS ASSOCIATED WITH OBTAINING APPROVALS TO PROCEED WITH AND COMPLETE THE WORK SHALL BE PAID FOR BY THE CONTRACTOR.
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY OR REASONABLY INFERRABLE AS BEING NECESSARY FOR THE EXECUTION OF THE WORK. BY SUBMITTING A PROPOSAL, THE CONTRACTOR REPRESENTS THAT THOROUGH EXAMINATION OF THE SITE AND ALL EXISTING CONDITIONS AND LIMITATIONS HAVE BEEN MADE AND THAT THE CONTRACT DOCUMENTS HAVE BEEN EXAMINED IN COMPLETE DETAIL, AND THAT IT IS DETERMINED BEYOND DOUBT THAT THE DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS ARE SUFFICIENT, ADEQUATE AND SATISFACTORY FOR CONSTRUCTION OF THE WORK. WHERE MINOR ADJUSTMENTS TO THE WORK ARE NECESSARY FOR THE PURPOSES OF FABRICATION AND INSTALLATION OF ITEMS, OR RESOLUTIONS OF CONFLICTS BETWEEN ITEMS, WITHIN THE INTENT OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS AT NO ADDED EXPENSE TO THE OWNER. WHERE SUCH MINOR ADJUSTMENTS AFFECT FUNCTIONAL OR AESTHETIC DESIGN OF THE WORK, THEY SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK, SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES. NOISY OR DISRUPTIVE WORK SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WORK IS TO COMMENCE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFIED.
- CONTRACTOR SHALL ADHERE TO ALL BUILDING STANDARDS. ANY CHANGES TO SAME SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGES AND PATTERN PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION. (SHALL INCLUDE RATED FIRE DOORS AND HARDWARE).
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS NOT TO SCALE OFF DRAWINGS.
- CONTRACTOR SHALL PROVIDE 18-GAUGE SHEET METAL BACKING IN PARTITIONS FOR ALL WALL-MOUNTED FIXTURES AND DEVICES UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- ALL FLOORS SHOULD BE LEVEL AND NOT VARY MORE THAN 1/4" IN 10'-0". THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS THAT DO NOT MEET THIS STANDARD.
- ALL MATERIALS INDICATED TO MATCH EXISTING SHALL DO SO WITH RESPECT TO SIZE, SHAPE, COLOR, TEXTURE, PATTERN, QUALITY AND METHOD OF INSTALLATION INSOFAR AS PRACTICABLE AND SHALL BE APPROVED BY THE ARCHITECT BEFORE USE.
- ALL FIREPROOFING DISTURBED DURING CONSTRUCTION SHALL BE REPLACED TO MATCH ORIGINAL FIRE PROTECTION LEVELS. (OBTAIN REQUIRED APPROVALS AND TESTING).
- THE FLOORS MAY BE OCCUPIED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL PERSONNEL, PASSERSBY OR VISITORS TO THE SITE FROM HARM AND INJURY. BARRIERS SHALL BE INSTALLED AS REQUIRED TO PROTECT EQUIPMENT INSTALLED DURING CONSTRUCTION. CAREFULLY MAINTAIN AND PROTECT MONUMENTS, BENCH MARKS AND THEIR REFERENCE POINT FROM BEING DESTROYED OR DISTURBED; REPLACE AS REQUIRED.
- EXISTING WORK DAMAGED AS A RESULT OF WORK DONE UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT FINISHES, SUBJECT TO ARCHITECT'S APPROVAL, AND AT NO ADDITIONAL COST TO OWNER. ALL REPLACEMENT MATERIALS REQUIRED TO MATCH EXISTING MATERIALS SHALL DO SO WITH RESPECT TO TYPE, PATTERN, TEXTURE, SIZE, SHAPE, COLOR AND METHOD OF INSTALLATION INSOFAR AS PRACTICABLE, AND SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AND SERVICES DISRUPTED OR REMOVED DURING CONSTRUCTION SHALL BE RESTORED AND REPLACED UNLESS NOTED OTHERWISE. FIRE/LIFE SAFETY SYSTEMS TO BE MAINTAINED DURING CONSTRUCTION.
- INSTALLATION OF MECHANICAL, ELECTRICAL AND STRUCTURAL SYSTEMS WILL REQUIRE OPENING OF SOME EXISTING WALLS, CEILINGS OR FLOOR CAVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF THESE OPENINGS TO MATCH EXISTING, EXCEPT WHERE NOTED OTHERWISE. FILL ALL HOLES AND VOIDS IN FLOORS, WALLS AND CEILINGS WHICH RESULT FROM INSTALLATION OF WORK, AND REMOVAL OF EXISTING MATERIALS AND EQUIPMENT REQUIRED BY THIS CONTRACT. PATCHED AREAS SHALL MATCH THE MATERIALS, FINISHES, AND LEVELS ADJACENT, OR SHALL BE PUT IN THE PROPER CONDITION TO RECEIVE THE FINISH INDICATED.
- OPENINGS REQUIRED FOR NEW WORK THAT PENETRATES EXISTING STRUCTURE SHALL BE COORDINATED WITH OWNER PRIOR TO COMMENCING THE WORK. ANY OPENING OVER 2" IN DIAMETER SHALL BE REVIEWED AND APPROVED BY OWNER. THROUGH CONCRETE SLABS OR WALLS, OR MASONRY WALLS, ALL ROUND HOLES SHALL BE CORE DRILLED WITH A DIAMOND DRILL AND ALL RECTANGULAR OPENINGS SHALL BE CUT WITH A DIAMOND SAW. IN NO CASE SHALL ANY STRUCTURAL MEMBER BE CUT. USE CARBIDE-TIPPED DRILLS FOR GYPSUM WALLBOARD PARTITIONS. KEEP OVERCUTTING TO A MINIMUM. MAINTAIN CONTINUITY AND INTEGRITY OF FIRE SEPARATION AT ALL TIMES. GROUT AROUND CONDUITS PASSING THROUGH CONCRETE WALLS AND FLOORS AND MASONRY WALLS. MAKE PATCHES WITH NEAT, TRIMMED EDGES; MATCH ADJACENT EXISTING WORK.
- CONTRACTOR SHALL PROVIDE FLOOR LEVELING AS MAY BE REQUIRED AT SLIDING DOORS, REITES WITHOUT BASE, CABINET WORK, AND OTHER LOCATIONS REQUIRING LEVEL SUBSTRATE. FEATHER CHANGES IN ELEVATION OVER SUFFICIENT AREA TO LIMIT TRANSITION SLOPE TO 1/8" PER FOOT.
- MATERIALS, ARTICLES, DEVICES AND PRODUCTS ARE SPECIFIED IN THE DOCUMENTS BY LISTING ACCEPTABLE MANUFACTURERS OR PRODUCTS, BY REQUIRING COMPLIANCE WITH REFERENCED STANDARDS, OR BY PERFORMANCE SPECIFICATIONS. FOR ITEMS SPECIFIED BY NAME, SELECT ANY PRODUCT NAMED. FOR THOSE SPECIFIED BY REFERENCE STANDARDS OR BY PERFORMANCE SPECIFICATIONS SELECT ANY PRODUCT MEETING OR EXCEEDING SPECIFIED CRITERIA. FOR APPROVAL OF AN ITEM NOT SPECIFIED, SUBMIT REQUIRED SUBMITTALS, PROVIDING COMPLETE BACK-UP INFORMATION FOR PURPOSES OF EVALUATION. WHERE BUILDING STANDARD ITEMS ARE CALLED FOR, NO SUBSTITUTE WILL BE ACCEPTED.
- CONTRACTOR SHALL PROVIDE FOR ALL WORK REQUIRED TO MAINTAIN COMPLIANCE WITH LOCAL FIRE CODE. PROVIDE FOR ALL REQUIRED SHOP DRAWINGS AND APPROVALS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIRE ALARM SYSTEM AUDIBILITY.
- MECHANICAL AND ELECTRICAL FIXTURES, OUTLETS, ETC., WHEN SHOWN ON THE ARCHITECTURAL DRAWINGS, ARE FOR LOCATION INFORMATION ONLY. MECHANICAL AND ELECTRICAL TO BE DESIGNED BY OTHERS. ALL CIRCUITING COORDINATION TO BE BY OTHERS.
- CONTRACTOR IS TO PROVIDE DRAWINGS FOR ARCHITECT'S APPROVAL SHOWING LOCATIONS OF ALL HVAC THERMOSTATS, GRILLES AND DIFFUSERS, FIRE AND SMOKE DETECTION DEVICES INCLUDING SPRINKLERS, SMOKE DETECTORS, FIRE EXTINGUISHERS AND HOSE CABINETS, PLUMBING AND PLUMBING EQUIPMENT.
- ANY CHANGE IN LIGHT FIXTURE PLACEMENT DUE TO INTERFERENCE OF MECHANICAL OR STRUCTURAL COMPONENTS MUST BE APPROVED BY THE ARCHITECT.
- ALL PERMITS INCLUDING FIRE, MECHANICAL, AND ELECTRICAL TO BE FILED SEPARATELY.

- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
- MODIFY EXISTING SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS, THUS PREVENTING NOTICEABLE LUMPS OR DEPRESSIONS.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
- REFER TO MILLWORK SHOP DRAWINGS FOR SPECIFIC DETAILS OF COORDINATION BETWEEN DRYWALL/MILLWORK CONDITIONS.
- ALL GLASS SHALL BE CLEAR TEMPERED GLASS, UNLESS OTHERWISE NOTED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.
- ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE NON-COMBUSTIBLE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT. ALL CONCEALED LUMBER & BLOCKING TO BE FIRE TREATED.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR: HVAC, CARPET SEAMING, LIGHTING, CASEWORK.
- MOISTURE TEST -- REQUIRED FOR ALL ON GRADE SLAB CONDITIONS DURING THE CONSTRUCTION ESTIMATING/BUDGETING PROCESS THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING FROM THE BUILDING OWNER DOCUMENTATION AS TO THE VAPOR EMISSIONS RATE (MOISTURE TEST) FOR ALL "ON GRADE SLAB CONDITIONS". THIS INFORMATION SHOULD THEN BE IMMEDIATELY SHARED BETWEEN THE ARCHITECT, THE ARCHITECTS' SELECTED FLOORING REPRESENTATIVE(S), AND FLOORING SUB-CONTRACTOR FOR REVIEW AND APPROVAL OF APPLICABLE MATERIALS AND ANCILLARY INSTALLATION/FINISH PRODUCTS. IF NO MOISTURE TEST CAN BE FURNISHED OR IF FINDING ARE IN QUESTION THE GENERAL CONTRACTOR SHALL PERFORM THE FOLLOWING TESTS:  
  
A. PROVIDE (3) CALCIUM CHLORIDE MOISTURE TESTS FOR THE FIRST THOUSAND SQUARE FEET AND (1) TEST FOR EVERY ONE THOUSAND SQUARE FEET THEREAFTER AT ALL FLOORS WITHIN SCOPE OF WORK. THE CALCIUM CHLORIDE TEST SHALL BE CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ASTM F 1869 "STANDARD TEST METHOD" FOR MEASURING VAPOR EMISSIONS RATE OF CONCRETE SUN-FLOOR USING ANHYDROUS CALCIUM CHLORIDE. PROVIDE A WRITTEN REPORT OF FINDINGS TO THE ARCHITECT AS NOTED ABOVE.  
  
B. PROVIDE A PH PENCIL TEST AT ALL FLOORS WITHIN SCOPE OF WORK. PROVIDE A WRITTEN REPORT OF FINDINGS TO THE ARCHITECT AS NOTED ABOVE.  
  
IF REQUIRED BY THE CALCIUM CHLORIDE TEST, A WATERPROOF MEMBRANE SHALL BE APPLIED TO ALL FLOORS WITHIN THE SCOPE OF WORK. THE WATERPROOF MEMBRANE(S) SHALL BE APPROPRIATED FOR EACH FINISH FLOORING APPLICATION AS SPECIFIED BY THE SPECIFIC FLOORING MANUFACTURER VIA THE ARCHITECT. A LICENSED INSTALLER SHALL BE UTILIZED FOR INSTALLATION/APPLICATION OF EACH SPECIFIC MEMBRANE (AS APPLICABLE TO THE FINISH FLOORING PRODUCT) AND A WRITTEN WARRANTY SHALL BE PROVIDED DOCUMENTING STRICT CONFORMANCE TO THE SPECIFIED MANUFACTURES INSTALLATION REQUIREMENTS TO ENSURE AND UPHOLD ALL PERFORMANCE AND LIFE CYCLE GUARANTEES.
- CONCRETE SLAB ON GRADE REPAIR -- MINOR SCOPE (100 SQUARE FEET OR LESS)  
  
WHERE CONCRETE SLAB ON GRADE INFILL AND TRENCHING MUST OCCUR; CONDUCT THE APPROPRIATE UNDER SLAB INVESTIGATION (VIA SONO-GRAPH AND/OR X-RAY) TO LOCATE EXISTING UTILITIES OR OTHER OBSTRUCTIONS THAT SHOULD NOT BE DAMAGED. SAW CUT SLAB AT SUBJECT AREA(S) AND PULL BACK THE EXISTING VAPOR BARRIER (IF PRESENT) AND PROTECT FOR FUTURE RE-INSTALLATION. EXECUTE THE NECESSARY UNDER SLAB WORK (INCLUDING EXCAVATION), BACKFILL AND RE-COMPACT THE SUBJECT AREA WITH THE PREVIOUSLY HELD MATERIALS (IF THE EXCAVATED MATERIALS ARE NOT SUITABLE FOR RE-INSTALLATION, DISCARD AND PROVIDE NEW FREE DRAINING GRANULAR MATERIAL). RE-COMPACT FILL SOIL TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY (MOD) OBTAINED IN GENERAL ACCORDANCE WITH THE ASTM D 1557 TEST PROCEDURE. RE-INSTALL THE EXISTING VAPOR BARRIER AND BIND SEAMS WITH MINIMUM 3" WIDE PRESSURE SENSITIVE TAPE TO ENSURE AN AIR/MOISTURE RESISTANT BOND. ATTACH NEW INFILL TO EXISTING CONCRETE SLAB WITH 18 INCH LONG #4 REBAR AT 24 INCHES ON CENTER EMBEDDED 8 INCHES INTO THE EXISTING CONCRETE SLAB WITH HILTI HY-150 ADHESIVE (OR SIMPSON SET ADHESIVE). REINFORCEMENT SHALL BE INSTALLED PER ADHESIVE MANUFACTURER'S RECOMMENDATIONS. PROVIDE W2 X W2 X 6 X 6 WELDED WIRE FABRIC WITHIN SUBJECT AREA(S), INFILL SLAB TO MATCH THICKNESS OF ADJACENT SURFACE(S) (BUT NOT BE LESS THAN FOUR INCHES THICK) AND #4 DOWELS SHALL BE CENTERED IN SLAB. THE CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH A MAXIMUM WATER CEMENT RATIO OF 0.58 AND IS TO BE PLACED LEVEL WITH ADJACENT SURFACES. LET CURE AND PROVIDE MOISTURE TESTING AS SPECIFIED ABOVE.  
  
IF SCOPE OF WORK INCLUDES STRUCTURAL ELEVATED SLABS CONSULT A STRUCTURAL ENGINEER. REFER TO STRUCTURAL PLANS, IF APPLICABLE, FOR ADDITIONAL SPECIFICATIONS AND REQUIREMENTS.
- CLEAN, REPAIR ANY EXISTING PERIMETER BLINDS AS REQUIRED TO BE IN A FULLY FUNCTIONING & OPERATIONAL MANNER.
- COORDINATE WITH SUB-CONTRACTORS THE LOCATIONS OF ELECTRICAL AND VOICE/DATA OUTLETS, PLUMBING AND OTHER DEVICES WITH LAYOUT AND DESIGN OF CUSTOM CASEWORK.
- CASEWORK SHALL CONFORM TO A.W.I. CURRENT STANDARDS.
- EGRESS LIGHTING SHALL BE DESIGNED BY A LICENSED ELECTRICAL ENGINEER BASED ON FINAL FLOOR PLAN(S) AND THE MOST CURRENT (IN FORCE) ISSUE OF THE IBC, IEC AND LOCAL CODES/ORDINANCES. THE ENGINEER MAY USE THE ARCHITECTS EGRESS MAPS (COMMON PATH OF TRAVEL/EXIT TRAVEL DISTANCE) AS STARTING POINT FOR A BASIS OF DESIGN. HOWEVER, IT SHALL REMAIN THE SOLE RESPONSIBILITY OF THE ENGINEER TO COMPLETE A SCOPE OF WORK THAT ADDRESSES ALL EGRESS LIGHTING I.E.; ROOMS, SPECIALIZED SPACES, PATHWAYS, ETC. PER THE AFOREMENTIONED CODES. FINAL EGRESS LIGHTING QUANTITIES AND LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION.

Symbol Legend:

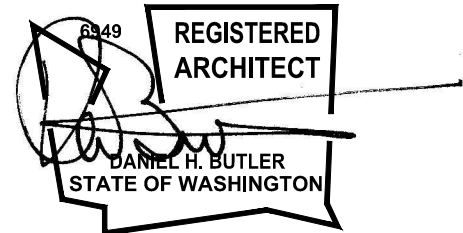
	ROOM NUMBER REFERENCE		DETAIL REFERENCE BUBBLE
	DOOR NUMBER REFERENCE.		JOB NORTH
	REVISION REFERENCE		REFERENCE KEY (REFER TO SHEET/KEY NOTES)
	INTERIOR ELEVATION SYMBOL		

JPC ARCHITECTS

TALON  
PORTFOLIO SERVICES

Bellefield Office Park  
Conifer Building  
1450 114th Ave SE  
Bellevue, WA 98004

DESIGN JPC  
DRAWN BT  
CHECKED CA  
NO. 15-0025



02-27-2015 Shoreline Permit

JURISDICTION STAMP

General Notes &  
Symbols

A-0.1





- Site Plan Notes:**
- SPECIAL INSPECTION CONTACT INFORMATION: OTTO ROSENAU & ASSOCIATES, INC.; 6747 M.L. KING WAY SOUTH, SEATTLE, WA 98118. CONTACT PERSON: CRISTA MOSER. (206) 725-4600
  - PROPOSED CONTOURS BY LANDSCAPE ARCHITECT
  - UTILITY INFORMATION AVAILABLE FROM PROPERTY ENGINEER BY REQUEST.

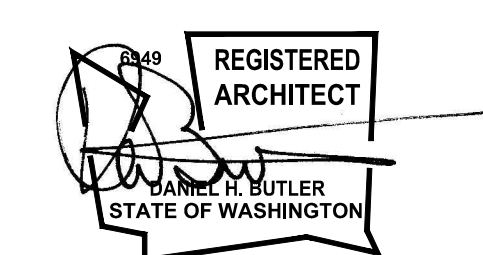
**Lot Coverage Calculation:**

Lot Area: 450,846 sq.ft. (10.35 acres)  
Protected Mercer wetland setback: 270,764 sq.ft. (approx.)  
Revised Lot Area: 180,082 sq.ft.  
Existing Footprint Area: 70,405 sq.ft. (no change to footprint)  
70,405/180,082 = 39.1% (structure coverage)

The delta change for pervious to impervious area is under 2,000 sq.ft. Where the impervious area is proposed that exceeds this amount, existing impervious area has been removed to become pervious.

- Site Plan Legend:**
- 200' SHORELINE SETBACK
  - WETLAND PER WATERSHED COMPANY SURVEY

DESIGN	JPC
DRAWN	BT
CHECKED	CA
NO.	15-0025



02-27-2015 Shoreline Permit

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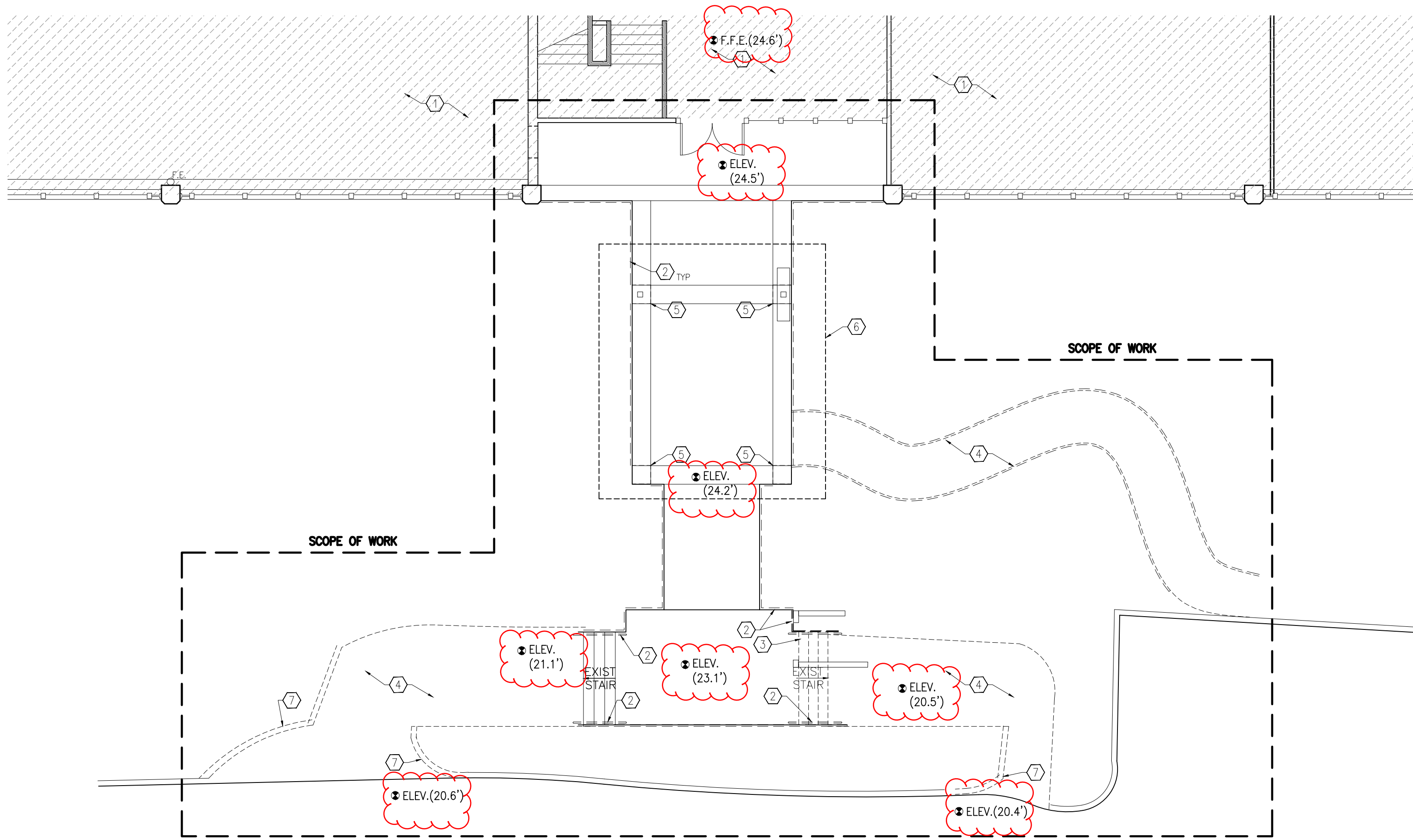
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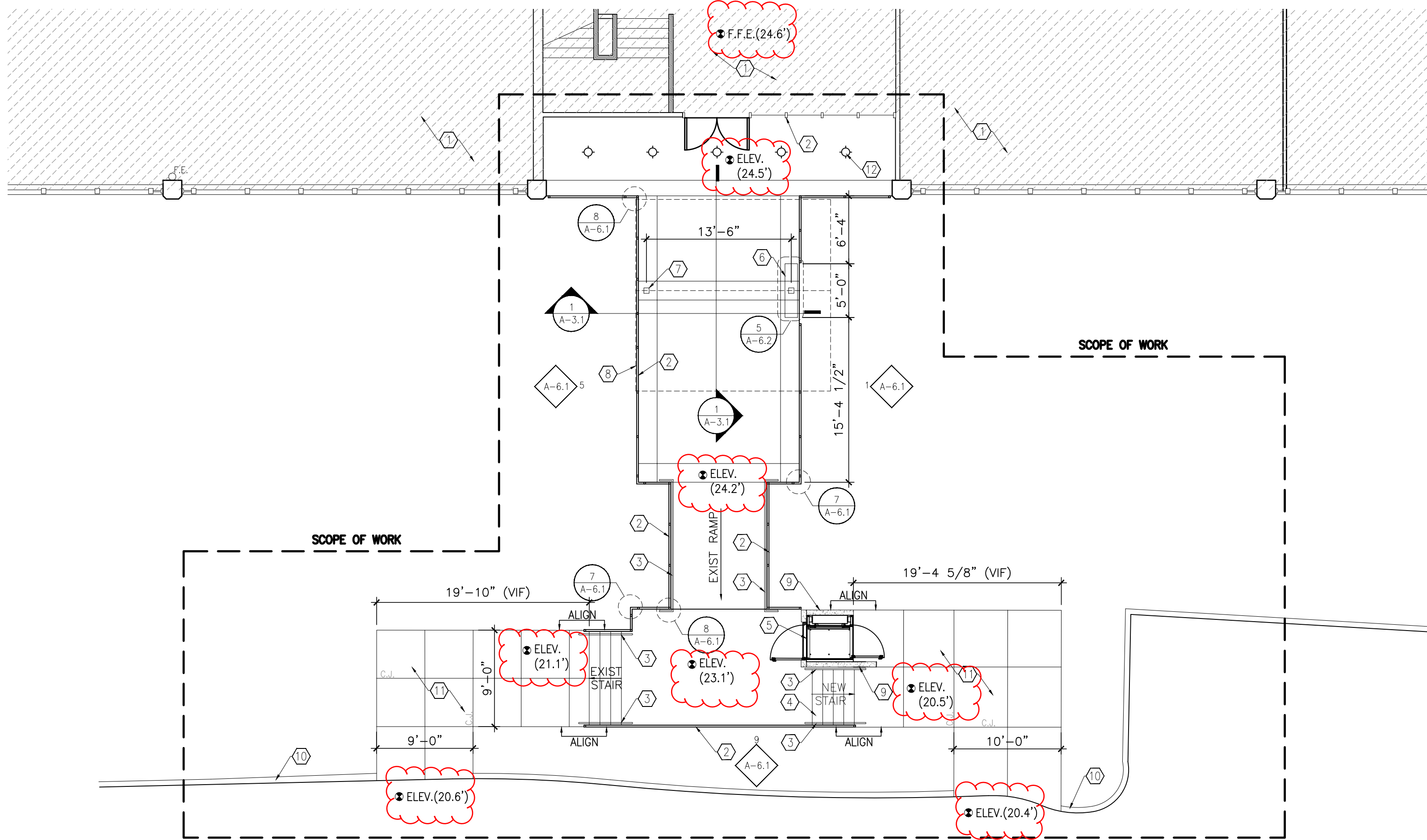
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1 Demolition Site Plan  
Scale: 1/8"=1'-0"



2 New Site Plan  
Scale: 1/8"=1'-0"

Demolition Site Plan Key Notes:

- 1 NO WORK THIS AREA UNLESS OTHERWISE INDICATED
- 2 DEMOLISH AND DISPOSE OF EXISTING METAL GUARDRAIL AND HANDRAIL, PATCH HOLES IN CONCRETE WHERE REMOVED AS NECESSARY. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
- 3 DEMOLISH AND DISPOSE OF EXISTING CONCRETE STAIRS. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
- 4 DEMOLISH AND DISPOSE OF EXISTING ASPHALT WALK/RAMP AND ASSOCIATED METAL RAILINGS AS REQUIRED FOR NEW WORK. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
- 5 SAWCUT AND REMOVE EXISTING CONCRETE COLUMN DOWN TO PATIO BELOW. PATCH-UP SURFACE TO MATCH ADJACENT CONCRETE BAND FINISH. REFER TO NEW SITE PLAN.
- 6 DEMOLISH AND REMOVE EXISTING WOOD STRUCTURE CANOPY ABOVE. REFER TO SECTIONS FOR ADDITIONAL INFORMATION. PATCH AFFECTED AREA TO LIKE NEW CONDITION IN PREPARATION FOR NEW WORK.
- 7 DEMOLISH AND REMOVE PORTIONS OF EXISTING CURBING AT ASPHALT FOR NEW WORK.

Site Plan Key Notes:

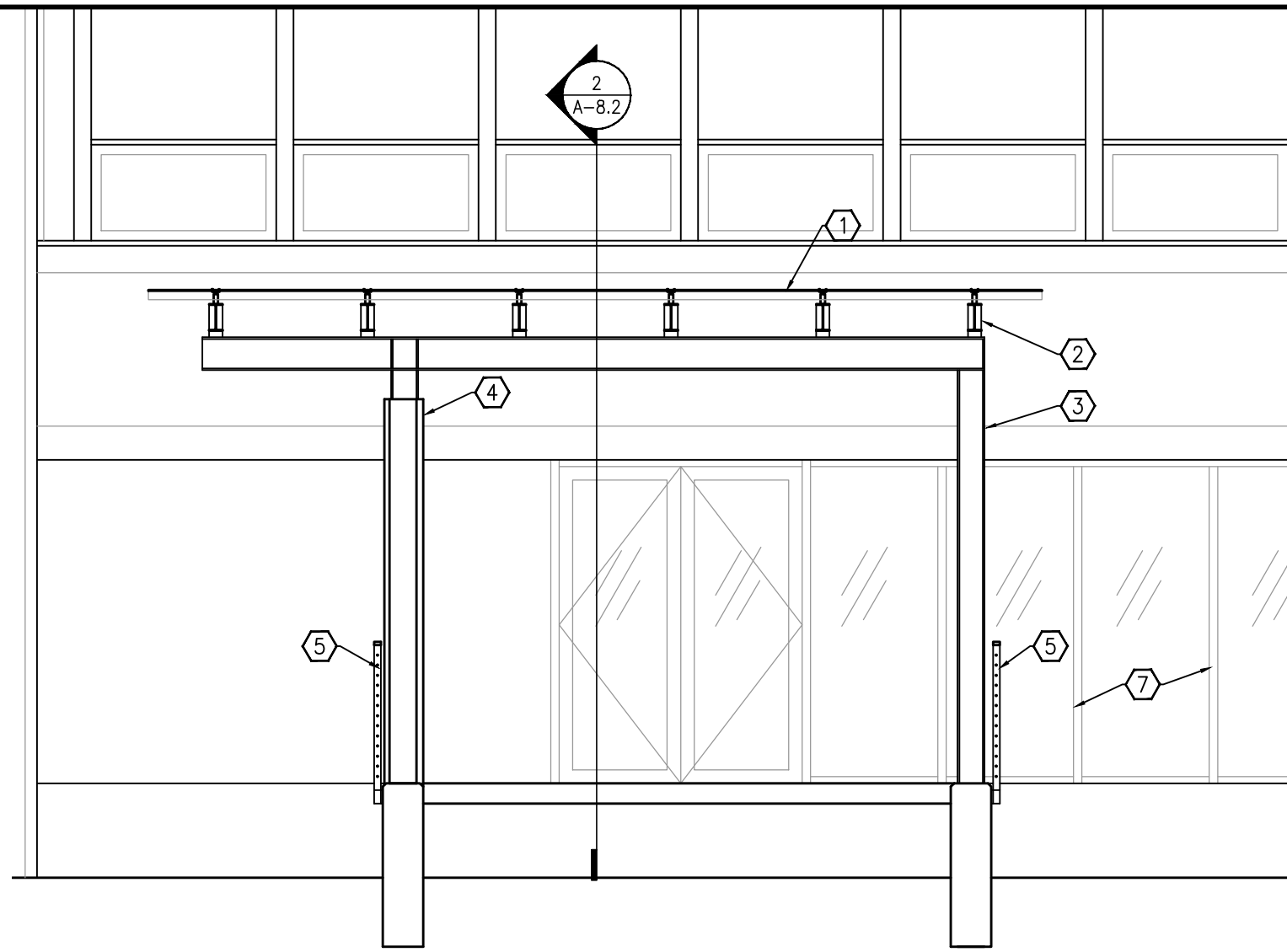
- 1 NO WORK THIS AREA UNLESS OTHERWISE INDICATED
- 2 NEW STEEL CABLERAIL GUARD, 42" A.F.F., SEE ELEVATIONS
- 3 NEW STEEL HANDRAIL, 36" A.F.F., SEE ELEVATIONS. SHALL MEET IBC 1012.6.
- 4 NEW CONCRETE STAIR, REFER TO SECTIONS AND DETAILS
- 5 NEW VERTICAL PLATFORM LIFT (OWNER FURNISHED, CONTRACTOR INSTALL). PROVIDE -3" "PII" AT BASE FOR FLAT TRANSITION ON ADJACENT NEW SIDEWALK. INSTALL PER MANUFACTURER REQUIREMENTS. PLATFORM LIFT SHALL MEET REQUIREMENTS OF ICC-117.1-2009 410.
- 6 NEW STEEL FRAMED WALL WITH NATURAL STONE VENEER, REFER TO SPECIFICATION ON SHEET A-0.1 AND DETAILS FOR MORE INFORMATION.
- 7 NEW STEEL HSS COLUMN, CENTER COLUMN ON EXISTING CONCRETE GRADE BEAM BELOW. SEE STRUCTURAL.
- 8 NEW CANOPY ABOVE, SEE ELEVATIONS
- 9 NEW CONCRETE RETAINING WALL AROUND PLATFORM LIFT AS NEEDED, SEE ELEVATIONS AND REFER TO STRUCTURAL.
- 10 PATCH EXTRUDED CONCRETE CURB AS NECESSARY. SEE 6/A6.2.
- 11 NEW SIDEWALK TO RECEIVE A BROOM FINISH WITH STANDARD HAND TROWELED EDGES AND JOINTS W/ BLACK STEEL LANDSCAPE EDGE. SEE STRUCTURAL FOR CONCRETE STRENGTH, REINFORCING AND MIX DESIGN. SEE DETAILS 3 & 4 / A6.1.
- 12 REMOVE EXISTING LIGHT FIXTURES AND PROVIDE NEW LED DOWNLIGHTS. FIXTURE L04. SEE SPEC ON A-0.1.

Partition Legend:

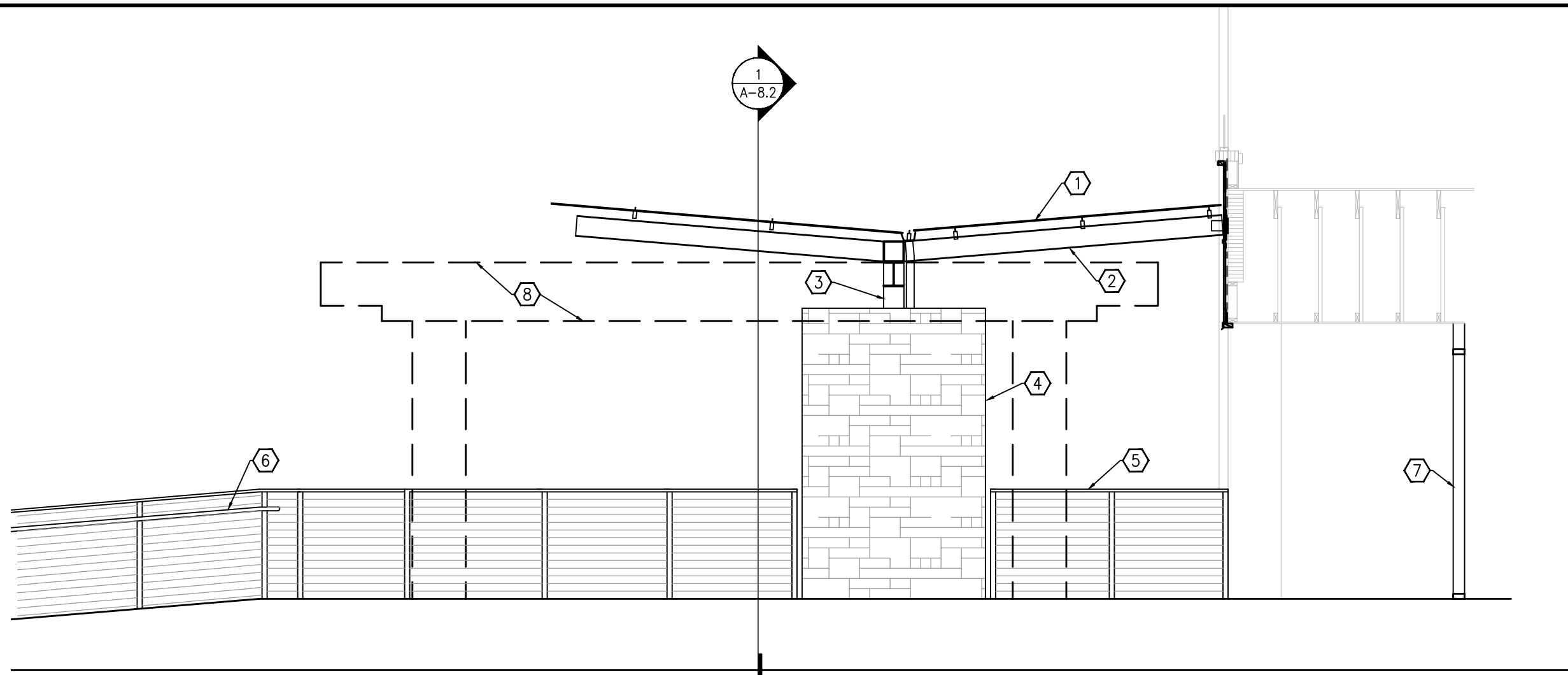
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN



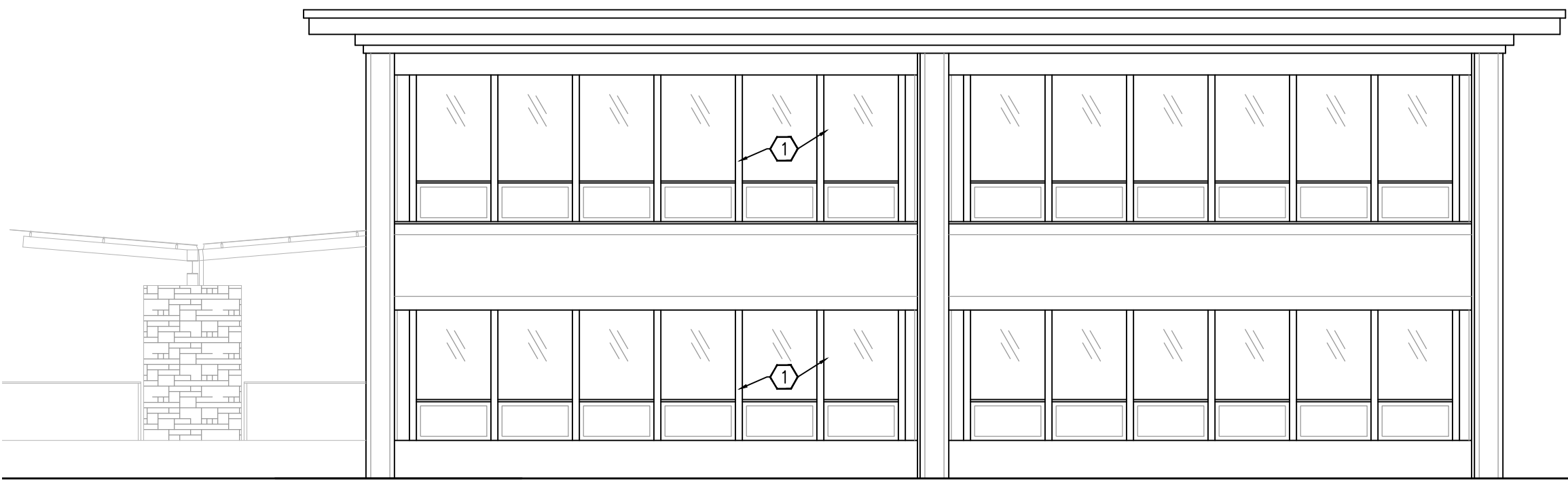
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Date/Time: 2/26/2013 4:15 PM  
Dep: L:\2015\15-0025\DWG\WIP\MASTER\A-8.2.DWG  
Xref: ATE.dwg, L:\2015\15-0025\DWG\WIP\MASTER\Conifer - E1.dwg, L:\2015\15-0025\DWG\WIP\MASTER\Conifer - F1.dwg, L:\2015\15-0025\DWG\WIP\MASTER\Conifer - F2.dwg  
Plot Title: JPC SBCB



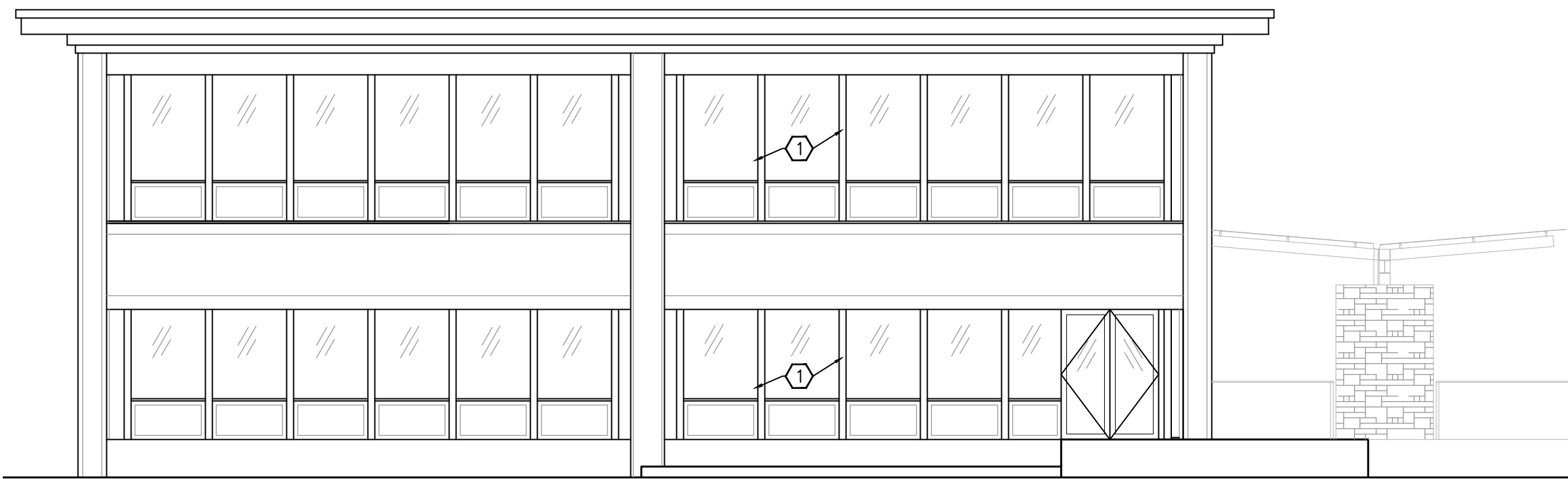
1 Canopy Transverse Section  
Scale: 1/4"=1'-0"



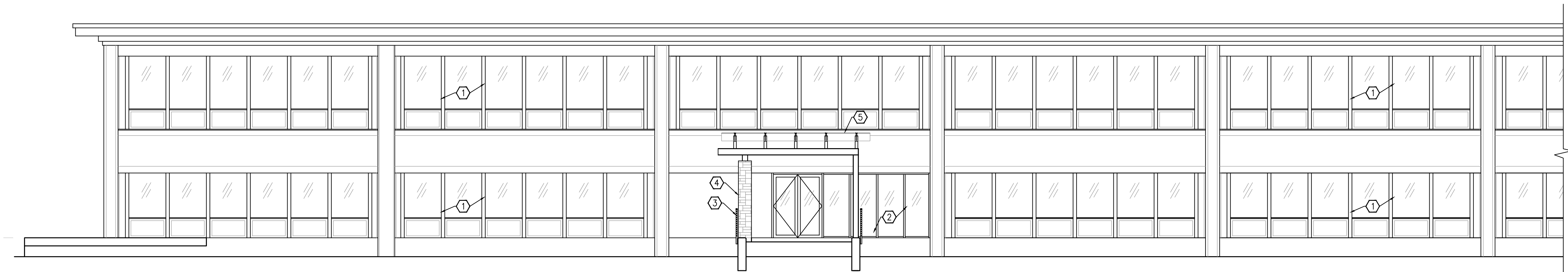
2 Canopy Longitudinal Section  
Scale: 1/4"=1'-0"



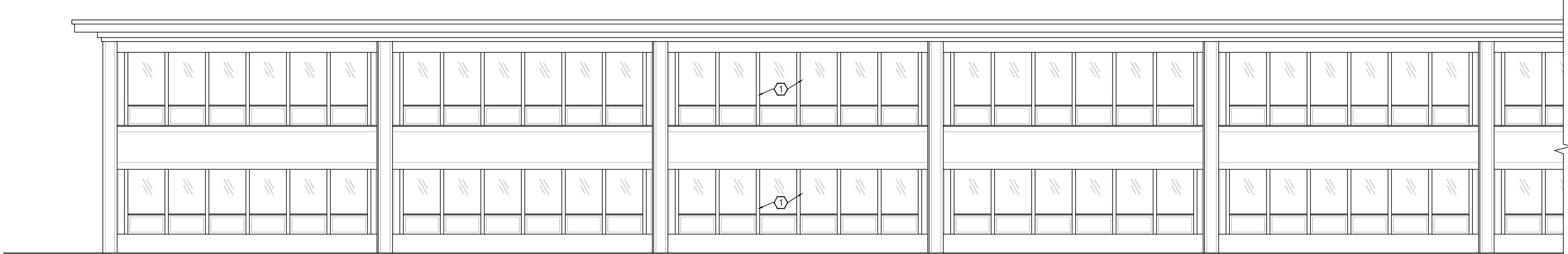
3 South Elevation  
Scale: 1/8"=1'-0"



4 North Elevation  
Scale: 1/8"=1'-0"



5 Partial West Elevation (South half similar bays, typical)  
Scale: 1/8"=1'-0"



6 Partial East Elevation (North half similar bays, typical)  
Scale: 1/8"=1'-0"

Section Key Notes:

- 1 NEW LAMINATED GLASS
- 2 NEW STEEL WIDE FLANGE OR "I" JOISTS
- 3 NEW TUBE STEEL COLUMN
- 4 NEW NATURAL STONE VENEER ON STEEL FRAMED WALL
- 5 NEW STEEL RAILING WITH CABLERAIL COMPONENTS, SIDE-MOUNTED TO CONCRETE WALL
- 6 NEW STEEL HANDRAIL
- 7 NEW ALUMINUM STOREFRONT SYSTEM
- 8 EXISTING CANOPY TO BE DEMOLISHED

Elevation Key Notes:

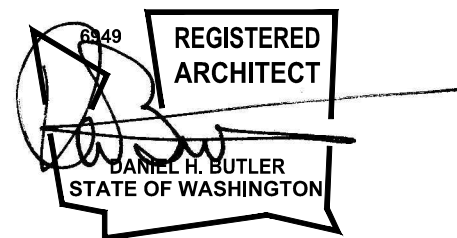
- 1 EXISTING WINDOWS, TYPICAL
- 2 NEW STOREFRONT GLAZING SYSTEM
- 3 NEW STEEL GUARDRAIL WITH CABLERAIL COMPONENTS
- 4 NEW STEEL FRAMED WALL WITH NATURAL STACKED STONE VENEER
- 5 NEW STEEL AND GLASS CANOPY

JPC ARCHITECTS

TALON  
PORTFOLIO SERVICES

Bellefield Office Park  
Conifer Building  
1450 114th Ave SE  
Bellevue, WA 98004

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Exterior Sections and  
Elevations

A-8.2

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Bellevue, WA 98004